

Date: 17/08/2022
Our Ref: 6364E
Your Ref: EN010118



The Planning Inspectorate
National Infrastructure Planning
Temple Quay House
2 The Square
Bristol
BS1 6PN

6 New Bridge Street
London EC4V 6AB
T: 020 7489 0213
F: 020 7248 4743
E: info@dwdllp.com

Dear Planning Inspectorate

PLANNING ACT 2008 – WRITTEN REPRESENTATIONS (DEADLINE 1B)

RE: LONGFIELD SOLAR FARM AT FARMLAND NORTH EAST OF CHELMSFORD, AND LAND NORTH OF A12 BETWEEN BOREHAM AND HATFIELD PEVEREL, ESSEX

We act on behalf of Countryside Zest (Beaulieu Park) LLP 'CZ', a joint venture made up of Countryside Partnerships and L&Q, who are the landowner and developer of the new Beaulieu development, which outline consent was granted in 2014 for 3,600 homes, new roads, schools, neighbourhood centre and a business park (ref. 09/01314/EIA). Countryside Partnerships are also part of a joint venture with L&Q, known as Countryside (L&Q) (North East Chelmsford) LLP (CLQ) who will deliver a substantial part of the Chelmsford Garden Community (CGC) which will deliver a further 5,500 new homes. Beaulieu and CGC is located to the West and Southwest of the Longfield Solar Farm application site.

As noted within our previously submitted Relevant Representation on 09/05/2022, CZ continue to support the principle of the Proposed Development which includes a solar farm co-located with battery storage, together with an extension to Bulls Lodge substation and underground grid connection routes. Following a review of the DCO documents submitted by the Applicant there are a number of relevant applications that we would like to bring to your attention as part of the examination process that we consider should be included within the Relevant Planning History (section 2.5) of the Planning Statement.

Beaulieu

The proposed DCO Order Limits includes access across land included within the Beaulieu development (app ref. 09/01314/EIA) that was approved in 07/03/2014. Beaulieu is a “mixed-use development comprising residential development of up to 3600 dwellings, mixed uses comprising employment floorspace including new business park, retail, hotel, leisure, open space, education and community facilities, facilities, landscaping, new highways including a radial distributor road, public transport provisions and associated ancillary development”. Due to the close proximity of the Beaulieu development to the Proposed Longfield Solar farm, our client would like to see this recognised within the application further. Please find attached the red-line boundary for this development (Ref: 87033/188 Rev A).

Partners

R J Greeves BSc (Hons) MRICS
G Bullock BA (Hons) BPL MRTPI
A Vickery BSc MRICS IRRV (Hons)
S Price BA (Hons) DipTP MRTPI

A R Holden BSc (Hons) FRICS
G Denning B.Eng (Hons) MSc MRICS
B Murphy BA (Hons) MRUP MRTPI
A Meech BSc MRICS
S Page BA MA (Cantab) MSc MRTPI

P Roberts FRICS CEnv
T Lodeiro BA (Hons) PGDip MSc MRICS
A Pilbrow BSc (Hons) MRICS IRRV(Hons)
C Turnbull BSc (Hons) MSc MRTPI



Chelmsford Garden Community

Chelmsford Garden Community is being delivered by a consortium of developers and promoters, led by CLQ, Ptarmigan Land Ltd and Halley Developments Ltd in partnership with Chelmsford City Council, Essex County Council and Homes England. The Garden Community will deliver around 5,500 new homes, schools, community, retail and health facilities, transport infrastructure as well as destination parklands. The Stage 1 Masterplan was submitted to Chelmsford City Council on the 27th of April 2022 and is currently being assessed under Application Ref: 22/00001/MAS. Please find attached the Aerial View of the Chelmsford Garden Community Redline Plan.

Chelmsford Garden Community – Zone 2

The EIA Scoping Request was submitted for Zone 2 of Chelmsford Garden Community on 23rd June 2022 (app ref. 22/01216/EIASO). The proposed DCO Order Limits includes Cranham Road with forms the northern boundary of the application area (see enclosed Location Plan Ref: S01 Rev D5). The Application forms part of the wider Garden Community and is for *“a mixed-use Garden Community comprising residential development of up to 3,500 dwellings, mixed-uses comprising other specialist residential accommodation, employment, commercial, retail, leisure, education and community floorspace in three new village, green and blue infrastructure including a new Nature Park, public open space and sports facilities, sustainable transport infrastructure, new highways including part of Radial Distributor Road 2, utility and infrastructure works, site preparation works, together with associated and ancillary development and full planning permission for a new left-in, left-out junction from Beaulieu Parkway (RDR1) & a new pedestrian/cycle bridge over Beaulieu Parkway”*.

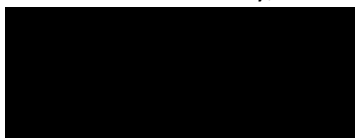
DCO Order Limits

As referenced above, the DCO Solar Farm Order Limits includes access across land that is included in the Beaulieu Outline Development. This section of road, General’s Lane to Radial Distributor Road (RDR) Phase 2 Roundabout, is located within Figure 1-1: Scheme Location. Paragraph 2.1.2 of the Planning Statement (doc ref. EN010118/APP/7.2), discusses how General’s Lane has been marked as ‘Site Access Works’ which *“comprises land needed to access the Solar Farm Site and the Bulls Lodge Substation Site from the public highway”*.

General’s Lane and RDR2 are included within the DCO Order Limits, and the Transport Assessment (document ref. EN010118/APP/6.2) notes that this will be closed at a later stage. We would like to confirm on behalf of our client, CZ, that the Section 278 agreement under the Highways Act 1980 was signed on 24/11/2021 for the RDR, as shown on the enclosed RDR Phase 2 Yellow Plan. As previously advised, General’s Lane is now stopped up and the Generals Lane Bridge has been demolished.

The RDR will shortly become public highway and following receipt of the Certificate of Completion, CZ we will write to confirm this. At this stage we will then request the Applicant removes this section of road from the DCO Order Limits Boundary alongside the ‘Orders of works’ section within the Planning Statement to be in accordance with the Section 278.

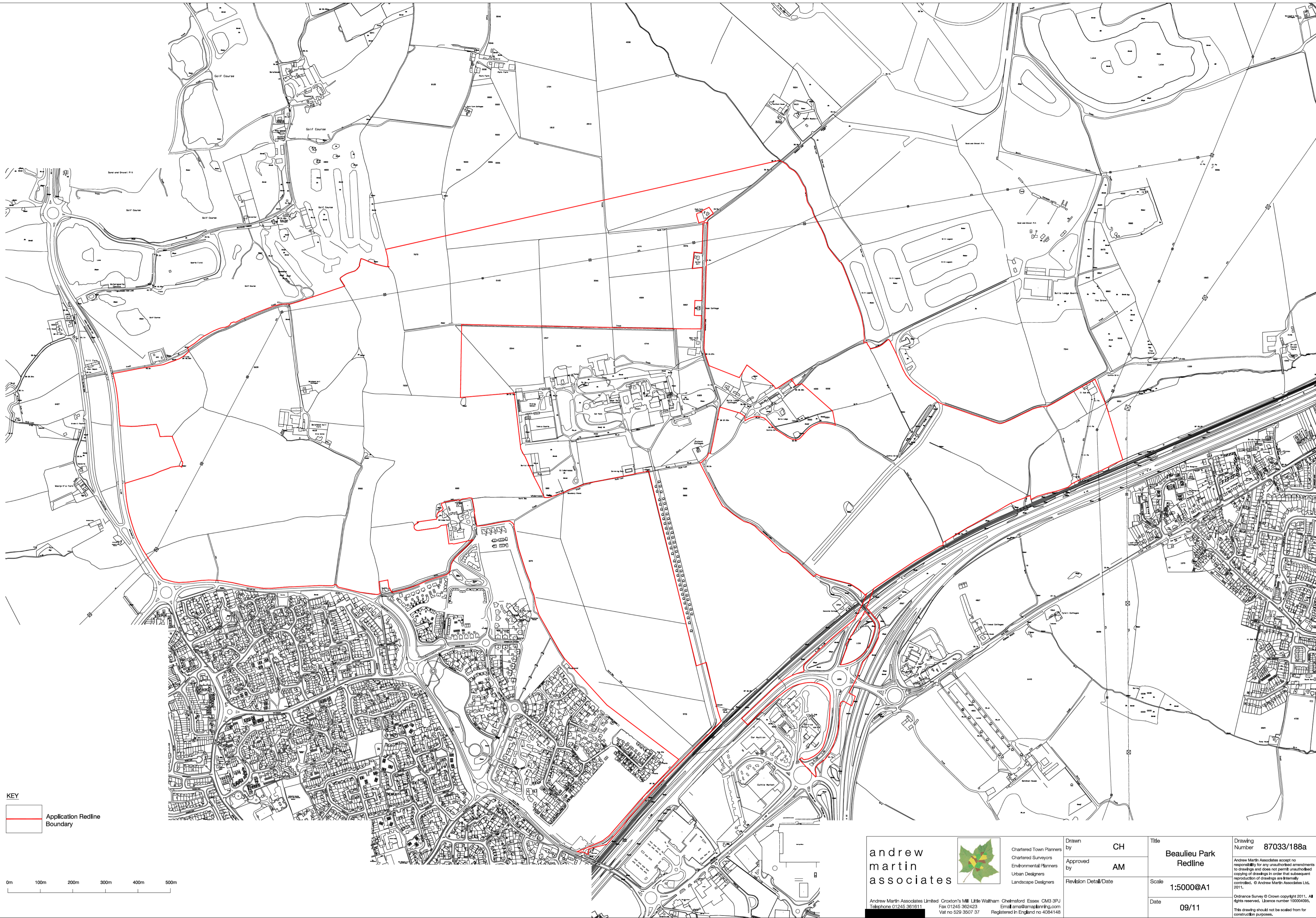
Yours faithfully,



Barry Murphy
Partner
DWD

[Redacted]
[Redacted]

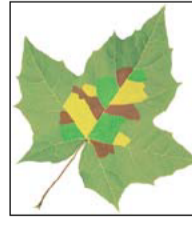
Enc Beaulieu Redline – Ref 87033/188 Rev A
Aerial View of Chelmsford Garden Community
Chelmsford Garden Community – Zone 2 Location Plan – Ref S01 Rev D5
RDR Phase 2 – Yellow Plan



KEY
 Application Redline Boundary



andrew martin associates



Chartered Town Planners
 Chartered Surveyors
 Environmental Planners
 Urban Designers
 Landscape Designers

Andrew Martin Associates Limited Croxson's Mill Little Waltham Chelmsford Essex CM3 3PJ
 Telephone 01245 361611 Fax 01245 362423 Email ama@amaplanning.com
 Val no 529 3507 37 Registered in England no 4084148

Drawn by	CH
Approved by	AM
Revision Detail/Date	

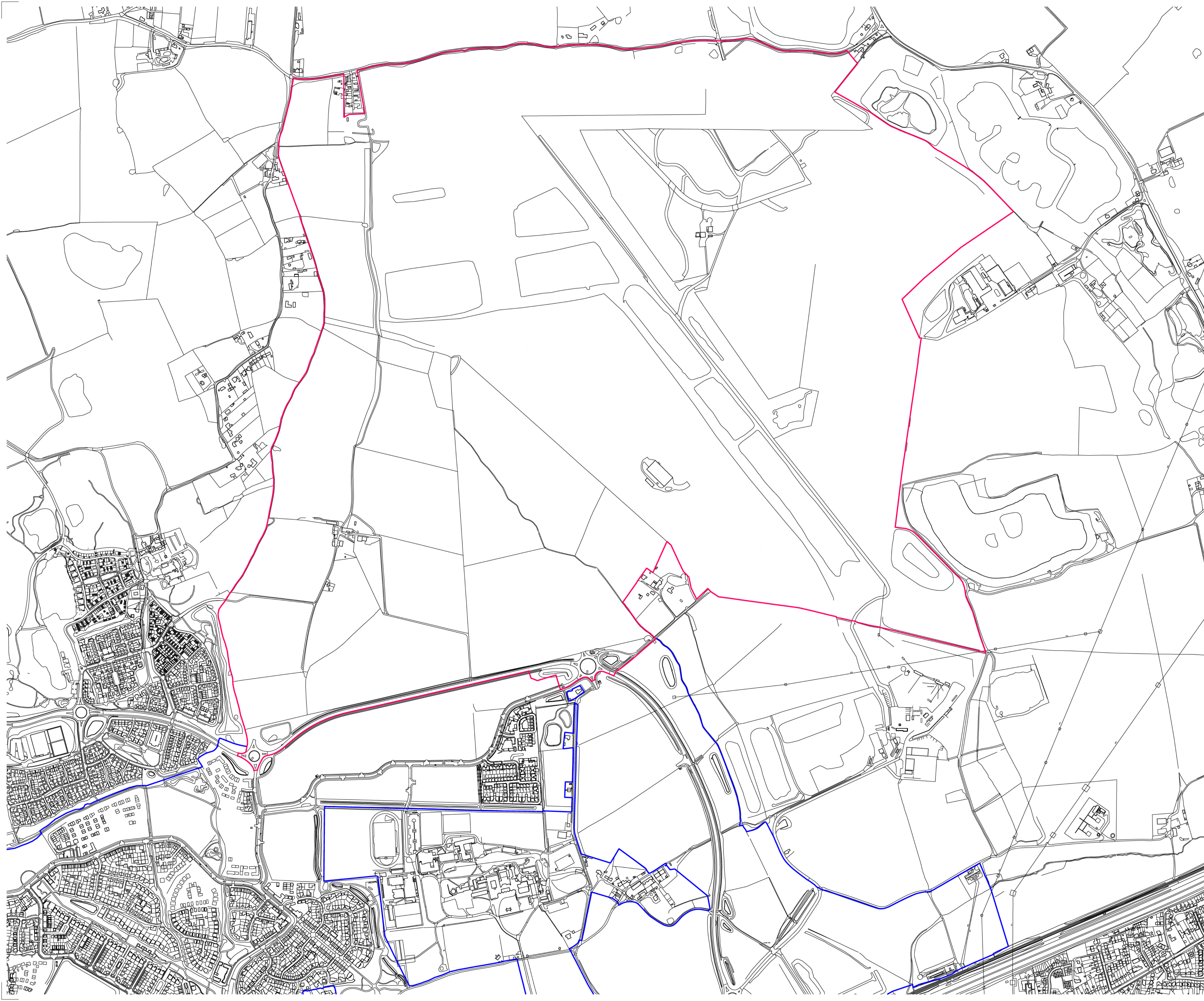
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Scale	1:5000@A1
Date	09/11

Drawing Number	87033/188a
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Aerial View of Chelmsford Garden Community





Notes:

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 All construction information should be taken from figured dimensions only.
 Any discrepancies between drawings, specifications and site conditions must be brought to the attention of the supervising officer.
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Key

- Application Boundary
- Other land under CLQ ownership

Rev	Date	Description	Drawn	Chkd
D5	11.04.22	Site boundary updated	VB	GP
D4	05.04.22	Blue boundary updated	VB	GP
D3	28.03.22	Blue boundary added	VB	GP
D2	14.03.22	Boundary Amendments	KCT	VB
D1	10.03.22	First Issue	KCT	VB

Rev	Date	Description	Drawn	Chkd

DRAFT

Client
 CLQ

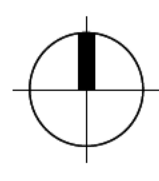


JTP Studios
 Unit 5, The Rum Warehouse
 Pennington Street
 London, E1W 2AP
 +44 (0)20 7017 1780

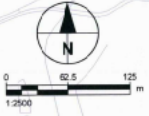
Project
 CGC OPA 2

Drawing Title
 Location Plan

Scale @ A1 1:5000 Job Ref. 01660B
 Drawing No. 01660B_S01 Revision D5
 Scale Bar 0 50 100 150 200 250m



ISO A1 194mm x 841mm



KEY

BEAULIEU SITE DEVELOPMENT BOUNDARY

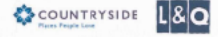
AECOM

PROJECT

BEAULIEU
CEBLMFORD - 889X

RDR PHASE 2A & 2B

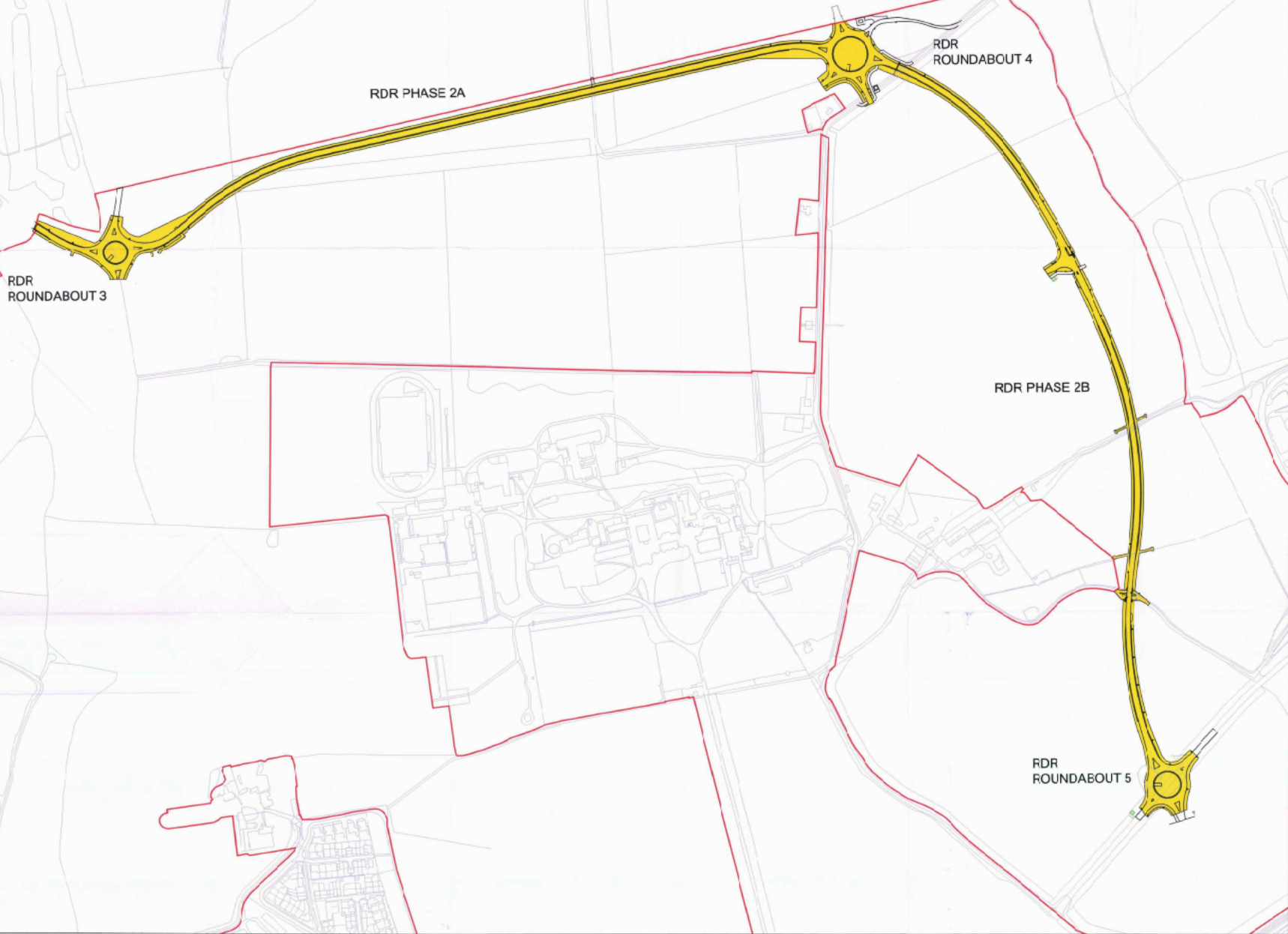
CLIENT



CONSULTANT

AECOM
Saxon House, 27 Duke Street
Chelmsford, Essex, CM1 1HT
Tel 01245 771200

NOTES



APPROVED FOR ISSUE

NO.	DATE	BY	CHECKED	APPROVED
P3	KR	RW	RW	
P2	KR	RW	RW	
P1	KR	RW	RW	
IR		CHECKED	APPROVED	

ISSUE/REVISION

NO.	DATE	REVISION DETAILS
P3	21.04.21	PINK COLOUR CHANGED TO YELLOW
P2	10.03.21	CLIENT COMMENTS INCORPORATED
P1	29.03.21	FIRST ISSUE
IR		REVISION DETAILS

PROJECT NUMBER

60544202

SHEET TITLE

RDR PH2A & 2B YELLOW PLAN

SHEET NUMBER

Z03100_AEC_NA_NA_DR_C_1338

Last saved by: KEVIN.DOBSON/2021-04-01 | Last Printed: 2021-04-07
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